

Table of bulk and intensity Requirements Pilgrims Landing

Existing Code R-3	Multi Fam High Density Condo pods	Med Density Single F K&B Pod	Apartments PSC pod	Commercial	20-Jan-99 Code Comm.
Min Lot size	8000 = 1 unit 8000 = 2 units 10,000 = 3 units 12,000 = 4 units	1200' pad Limited common and common area for owners			
Max dwelling Per Acre	R2=6 R3=12	12..	14..		
Min Lot width	65'	*	*	60'	60'
Min Front yard	25'	20' fr top back curb	20' fr. topback curb	25'	25'
Min Set back off Public	25'	20'	20' from ROW	25'	25'
Min rear yard	30' interior	*	*	25'	25'
Corner Min rear	15'	*	*		
Min side yard	8'	UBC code	40' to next bldg UBC code	UBC code	UBC code
Min side yard corner	25'	*	*		
Height Max	35' 2 story	38' 2 1/2 story	44' 3 story	5 story 70'	4 story 60'
Open space				10%	10%
Min area one floor	900=R2& R3	1000'	800' apartment		
Min area two story	600/1200 total	600/1200 total			
Cluster Lots	10 acres	10 acres	10 acres		
Min area PRD					
Specs for project allowed as a part of area plan.	<p>1. High back curb will be used on the City Roads.</p> <p>2. Private roads may use roll back provided there is a 10' long transition between the City curb and the private curb for aesthetics.</p> <p>3. All Rt. of Ways and roads will be public utility easements.</p> <p>4. 31' local Public Roads, flow line to flow Line 28 ft asphalt Allowed. In a 56' ROW This applies w/in single family pod only. The Lehi code is 34' of asphalt + 4' of curb = 38 Feet.</p> <p>5. Cui De Sacs may have 84' asphalt bulbs in lead or 100 foot Lehi standard with no street parking.</p> <p>6. Covered Parking multi family may have 1/2 a garage per unit. In lue of covered.</p> <p>7. Meandering Sidewalks 1 side of the street only in the ROW are allowed.</p> <p>8. Decorative Street Lighting that meets lums standard is allowed</p> <p>9. Monument entry gates up to 12' high which do not obstruct line of sight.</p> <p>10. Garbage collation for the single family pod which is taken to the main street as required by the garbage contractor is provided by the City.</p> <p>All other Waste collection will be privately handled.</p> <p>11. Side yard on Corner Lots to be 17' from 150 provided that the Sight Triangle Per Lehi City Code is provided.</p> <p>12. 50 feet between homes with a minimum of 15 feet on the traditional lots provided that the 50 feet is maintained.</p> <p>13. Setbacks on the cluster lots shall be as follows: 20' from top back of curb on Public roads when home access off of the road. 12' from top back of curb on Public roads when it is a side yard setback 15' rear yard 6' side yards with a total of 12 feet between sides of homes House accessing off of a private drive shall provide a minimum of an 18' on individual driveways Front yard setback off of the private drive shall be 10' feet minimum measured from the curb. Side yard on Corner Lots to provide the Sight Triangle Per Lehi City Code</p>				

Approved
2/23/99



Planning, Design, Landscape

MEMO

Date: 29 October 1997

To: Development Review Committee
Lehi City

From: John K. Sterzer

Re: **Pilgrim's Landing Area Plan**
PC Zone - Anticipated uses

It is hard, at this time, to identify for certain the uses that will occur in the commercial areas of this development. We anticipate the requested uses to be generated from the following list:

- public aquarium/botanical park
- hotel/motel
- business/office
- convenience store with
- gas pumps
- retail shops
- car wash
- rest/nursing home
- retirement home
- child day care
- public buildings
- cultural/artistic use, i.e.: gallery, performing arts
- medical/dental
- financial institutions
- health care facility
- health club
- Laundromat
- convention center
- restaurant
- fast food

J. STERZER ASSOCIATES

2335 East Treasure Mountain Circle Sandy, Utah 84093
Tel. (801) 944-4720 Fax (801) 944-4727

Development Data

Land Use	Acres	Density Units per Ac.
Commercial	27.6	
Planet Earth	18.0	
Hotel	12.0	
Parks/Open Space	6.0	
Residential		
Apartments	142	12-14
Condominiums	24.0	10
Single Family	35.4	6
Totals:	137.2	8.5 to 8.9

Pilgrim's Landing

at Thanksgiving Point

Preliminary Master Plan

prepared for:

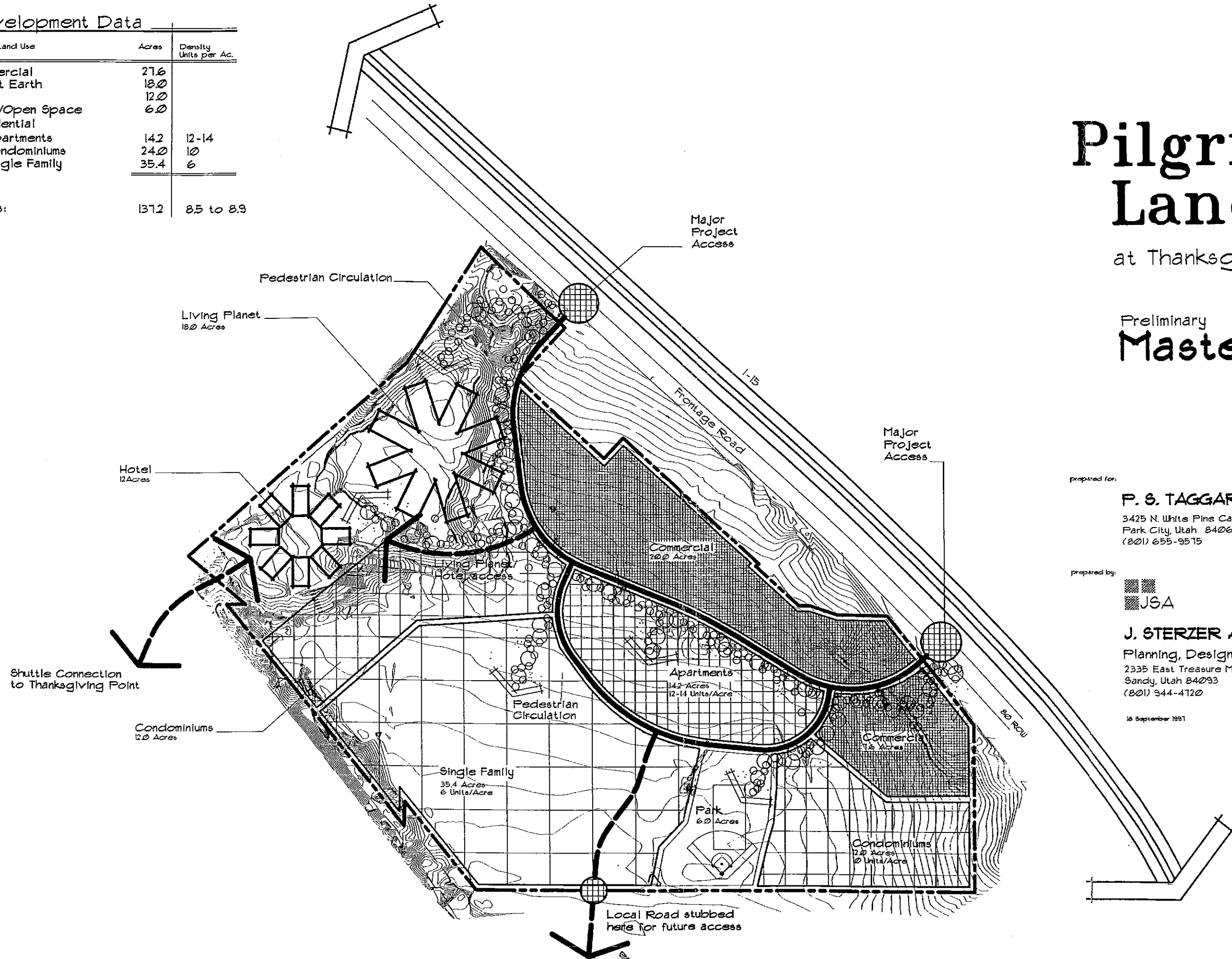
P. S. TAGGART ENTERPRISES
 3425 N. White Pine Canyon Road
 Park City, Utah 84060
 (801) 655-9575

prepared by:



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 Planning, Design, Landscape
 2335 East Treasure Mountain Circle
 Sandy, Utah 84093
 (801) 944-4720

18 September 1997



SCALE: 1"=200'



Living Planet Site

Units on edge
taking up 8-10'
in grade

Townhouse unit w/
third story flat
(typical)

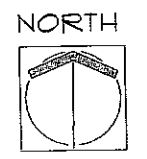
Hotel Site

Parcel entry/
signage

Single Family Parcel

Play Area

Secondary
access
point



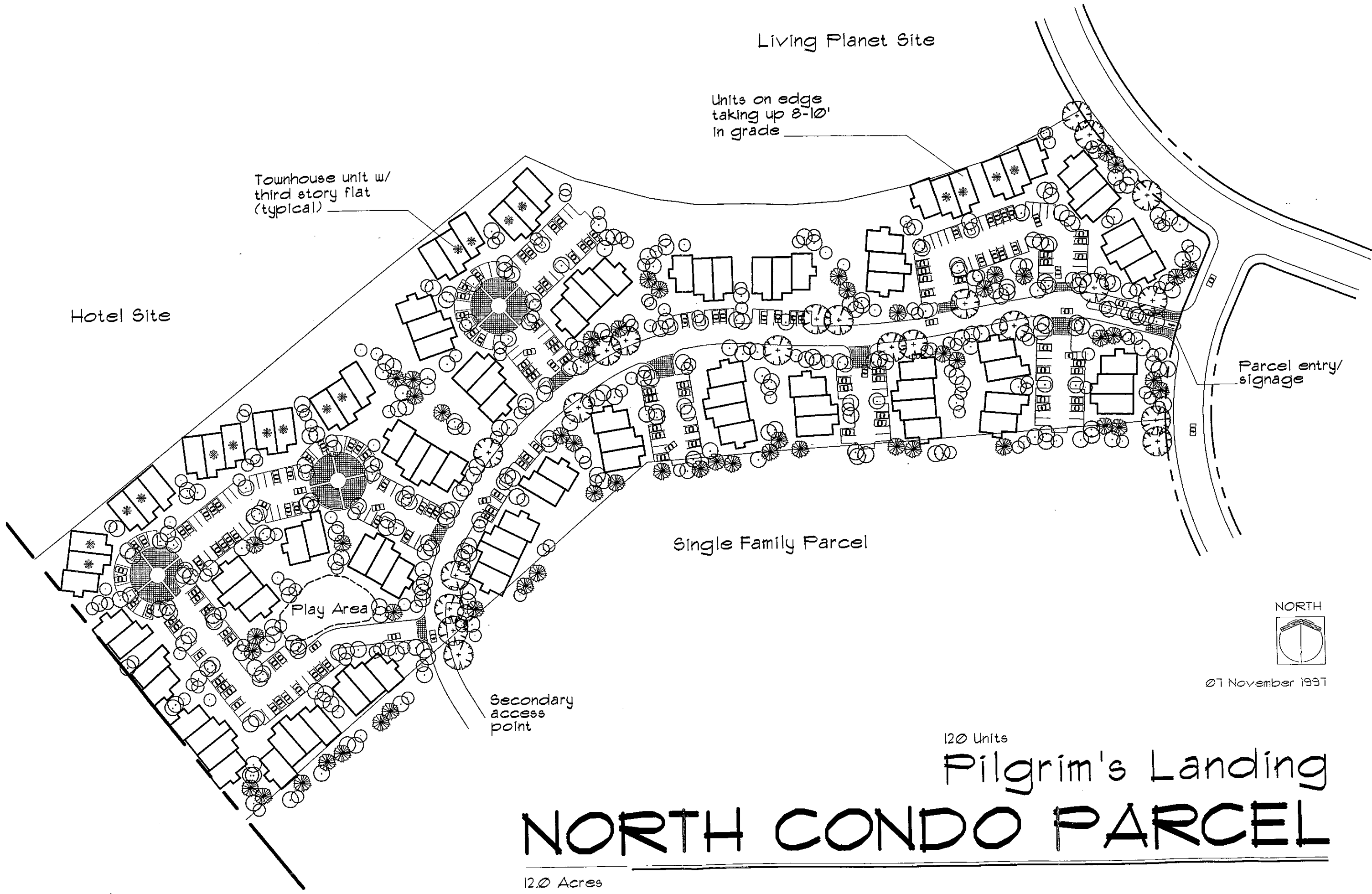
07 November 1997

120 Units

Pilgrim's Landing

NORTH CONDO PARCEL

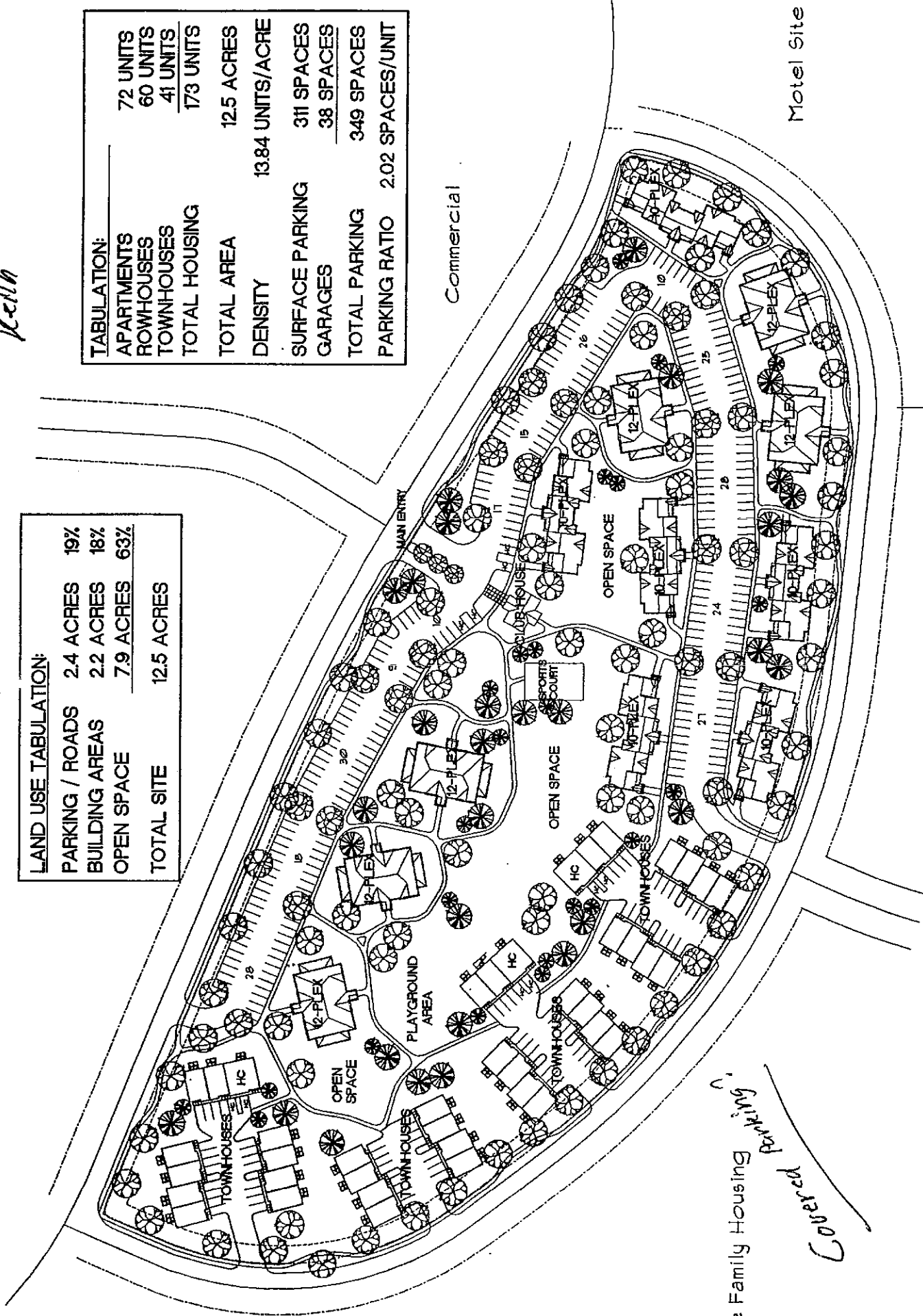
12.0 Acres



1/14/88
Keth

LAND USE TABULATION:		
PARKING / ROADS	2.4 ACRES	19%
BUILDING AREAS	2.2 ACRES	18%
OPEN SPACE	7.9 ACRES	63%
TOTAL SITE	12.5 ACRES	

TABULATION:		
APARTMENTS	72 UNITS	
ROWHOUSES	60 UNITS	
TOWNHOUSES	41 UNITS	
TOTAL HOUSING	173 UNITS	
TOTAL AREA	12.5 ACRES	
DENSITY	13.84 UNITS/ACRE	
SURFACE PARKING	311 SPACES	
GARAGES	38 SPACES	
TOTAL PARKING	349 SPACES	
PARKING RATIO	2.02 SPACES/UNIT	



Condominiums

Single Family Housing
Covered Parking

SCHEMATIC SITE PLAN - APARTMENT COMMUNITY

Condominiums

SCALE: 1" = 50'-0"



J Planning, Design, Landscape

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Planning, Design, Landscape

MEMO

Date: 03 November 1997

To: Development Review Committee
Lehi City

From: John K. Sterzer

Re: **Pilgrim's Landing** Area Plan
Phasing
LCDC Section 15-2

Development phasing for the **Pilgrim's Landing** project is generally market-based and the following schedule is preliminary and subject to change. Please refer to the Phasing Exhibit.

Phase One

- Apartment parcel: 175-180 units; completion in summer of 1999
- South condominium parcel: 120 units; construct about 5 units/month; move-in fall 1998
- Single Family parcel: 220-230 lots; construct 5-6 homes/month
- move-in fall 1998; construct 5-6 homes/month
- Park: completion in summer 1999
- Commercial - retirement home: completion spring to summer 1999
- South project entry: summer 1998
- Infrastructure to support the above: loop road, main entry and associated internal roads

Phase Two

- North condominium parcel: completion winter 2000
- Commercial parcel(s): 1999 to 2001
- North project entry: 1999 to 2001
- Appropriate infrastructure: 1999 to 2001

Phase Three

- Hotel and shuttle: 2000+
- Commercial parcel(s): 2000+
- Mid project entry: 2000+
- Completion of infrastructure: 2000+

Total build-out in approximately six years: 1997 to 2003.

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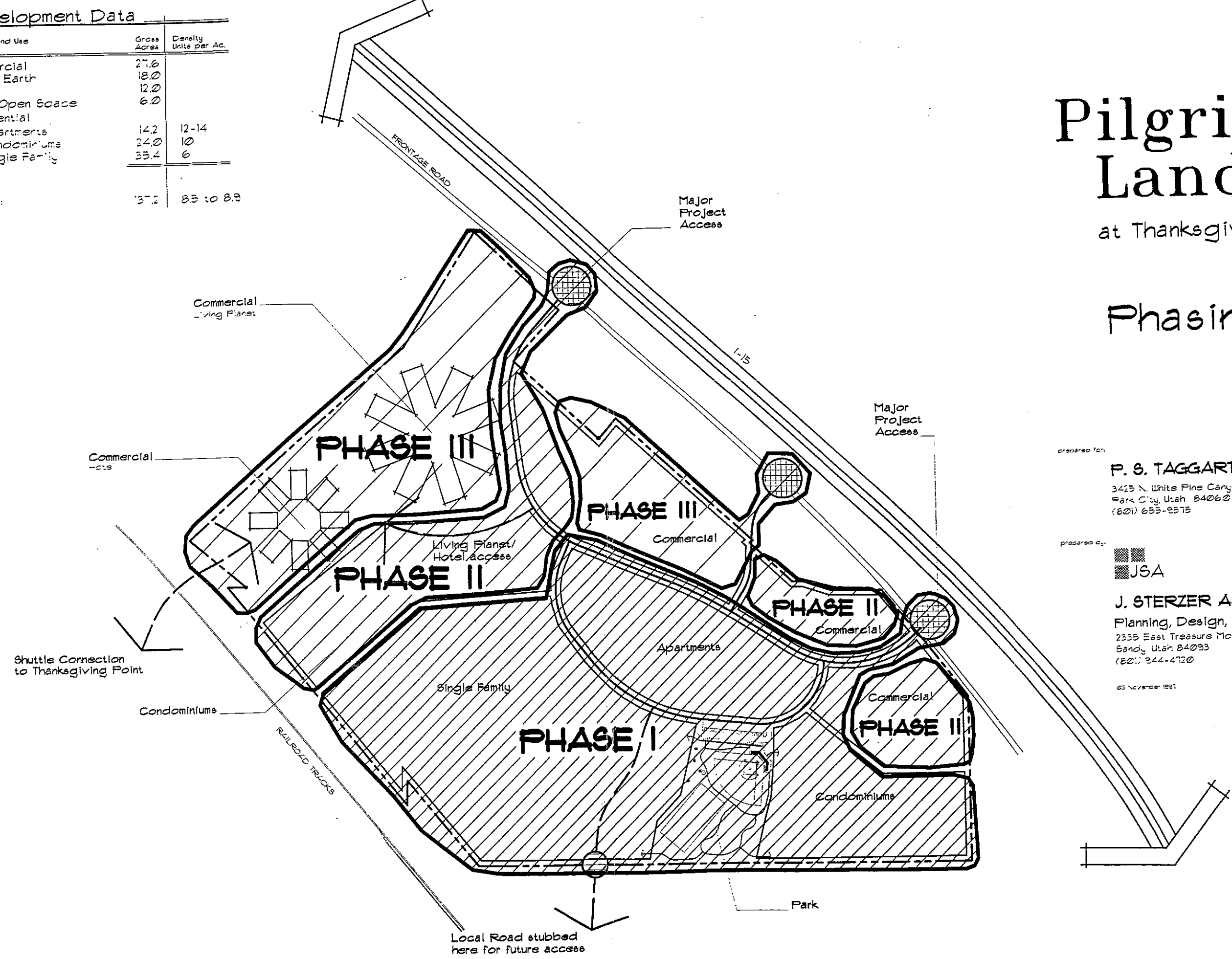
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Pilgrim's Landing

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Phasing Plan



created for:
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03 November 1991

