

ARCHITECTURAL CONTROL GUIDELINES

December 1, 2000

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PLANNING DEPARTMENT

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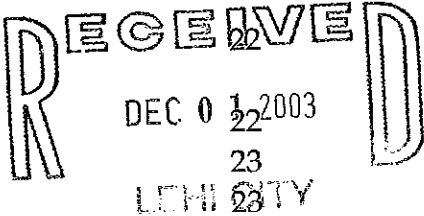
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1. GENERAL DEVELOPMENT INTENT:

It is the intent of Thanksgiving Point to develop into an environmentally, socially, and economically harmonious point-of-destination that is sustainable for businesses, residents, and the general public. To further that end, the Thanksgiving Point development will:

- Promote a strong sense of outdoors with a focus on health, fitness, and a pride in one's self and place.
- Serve as a world-class showcase for businesses committed to social, economic, and environmental sustainability;
- Incorporate wise-use of resources in all aspects of the design and development of Thanksgiving Point.

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2. GUIDELINE OBJECTIVE:

The following Architectural Control Guidelines are established to ensure that the designs of the individual land user at Thanksgiving Point remain consistent and in harmony with the intended goals of the overall development; and to help provide an experience that meets the needs of the professional residents and their customers, local governments, and the general public.

NOTICE! The development guidelines are intended to be a conceptual, dynamic guide to development and as such are subject to change without notice where the Design Control Committee determines such change is in the best interest of the development, and in response to Lehi City's goals and objectives.

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3. GUIDELINE ENFORCEMENT:

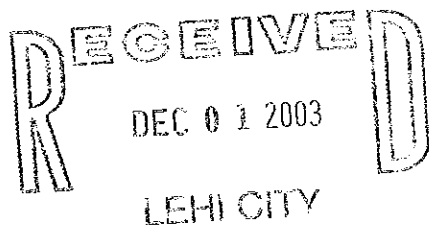
Thanksgiving Point has been designed for long-term viability and requires strict governance to the established architectural attributes and design controls.

As part of the development guidelines, a mandatory program of architectural review has been established to evaluate every proposal for development at Thanksgiving Point. The purpose of the review program by a Design Control Committee is to ensure that the high standards of the community, as set forth in these guidelines, are upheld in each phase of the development. The Design Control Committee will consist of trained professionals, as well as representatives of the owner of the property. The Design Control Committee is hereafter referred to as the DCC.

Any and all land users within Thanksgiving Point will be required to submit to the DCC all plans and specifications detailing their intended use, including plot plan with landscape details, lay-out, color schemes, materials lists, and any other information pertinent to the Thanksgiving Point development as required by the DCC.

All new land users are required to have approval for their desired use and design for the property from the DCC prior to submitting for a city building permit. Any changes in existing portions of the development, including any structure, area, or item described within these guidelines, must also receive approval from the DCC.

It should be noted that in addition to these Architectural Control Guidelines, Thanksgiving Point Development has or will record a Master Declaration of Protective Covenants, Conditions, and Restrictions (CC&R's) to be administered by the Thanksgiving Point Master Owner Association. The CC&R's are to be strictly enforced.



4. GENERAL ARCHITECTURAL DIRECTIVES:

Thanksgiving Point, from its inception, has been designed to embody the spirit of a "village." It is also a multiple use development, consisting of commercial, retail, educational, recreational, and civic facilities. As evidenced by the buildings already built, the architectural and design standards at Thanksgiving Point will be unique and exceptional in presentation.

Because there are so many varying activities throughout Thanksgiving Point, the coordination of choices in architectural style and land planning will ultimately create the personality of the outward presentation of Thanksgiving Point. These considerations will be of the highest priority.

The architectural appearance of the structures at Thanksgiving Point will vary depending on the function and activity of the building. Architecture styles will also vary based on the land-use section in which they are located.

For example, the business park will establish a specific style that may differ from that of the commercial areas. Within the commercial areas there will be variations in appearance depending on whether the activity is adjacent to the frontage road or next to the gardens. In essence, while there will be architectural coordination within development areas at Thanksgiving Point, there will be differences in architectural styles for structures in different land-use categories.

The following General Directives shall apply to the whole of Thanksgiving Point. However, requirements specific to an individual land use or location are detailed in subsequent sections of this document.

4.1 SITE REQUIREMENTS:

4.1.1 Building Setbacks:

Setbacks for individual land uses are defined within the sections herein. A special setback requirement shall apply to properties along Clubhouse Drive. Refer to Section 10.

4.1.2 Sidewalks:

Walks, pathways and trails will provide for safe, convenient access between and to buildings; and for safe pedestrian circulation throughout the development at locations where major needs for pedestrian access can be anticipated. All walks and steep treads shall meet municipal disability requirements.

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Entrance walks shall extend from the front entrances of buildings to another acceptable paved way in conformance with UBC requirements. Service walks shall extend from service entrances to entrance walks or other ways in conformance with UBC requirements.

Walkways must be maintained and kept clear for pedestrian traffic. Coloration of sidewalks must also be in harmony with the coloration standards detailed herein. All sidewalks under control of individual businesses shall be maintained in all weather conditions, kept clean, and kept in good repair. Sidewalks should be designed to enhance the landscape and allow pedestrian traffic.

All walkways and sidewalks shall be a minimum of 6 feet in width.

All public street sidewalks shall have an elevation less than 6 inches above the curb of the adjacent street. All public street sidewalks shall include a gentle meandering design and shall in no case be closer to the curb than 6 feet.

4.1.3 Parking/Roads:

Adequate parking space shall be provided for residents, guests and service vehicles according to existing municipal regulations. Parking shall be predominantly on the sides and rear of a lot with handicap and short duration parking in the front. All primary parking spaces, including covered parking structures and garages, must have approval by the Design Control Committee.

Parking lots shall provide adequate reciprocal access-ways to all adjacent existing and future parking lots.

Each parking area shall be hard surfaced and be maintained in good condition, kept clear, unobstructed, and in a usable condition at all times. Responsibility for maintenance of the lot shall rest with the property owner.

Parking lots shall be graded for proper drainage with surface water diverted in such a way as to keep the parking area free of accumulated water or ice. Parking lot drainage shall be controlled on site and channeled to storm drains or gutters as approved by the City.

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Access grades shall be in accordance with the City Engineer.

A. Parking Stalls:

The minimum number of parking stalls required is detailed in the individual land use sections.

Each parking stall shall have a minimum dimension requirement of 9' x 20'. Drive aisle minimum width shall be 25'.

Parking stalls shall be square as opposed to angled in their layout.

No head-to-head parking is permitted without a landscaped, parking island with a minimum width of 8 feet.

B. Parking Structures:

In order to maximize open space and to reduce parking surface, parking structures will be allowed with the approval of the Design Control Committee. In addition to the specification of minimum stall dimensions, all parking structures shall be reviewed for provision of adequate circulation and to ensure that each required space is readily accessible as well as usable.

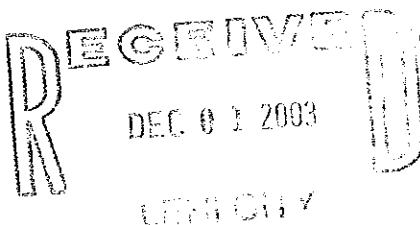
C. Driveways and Access Ways:

Parking shall be arranged so that departing drivers have a clear view of approaching pedestrians, vehicles, cross walks, and while entering traffic lanes. Entrances and exits shall conform to Lehi City ordinances and current AASHTO standards for safe sight distances.

The minimum requirement for driveways is detailed in the individual land use sections.

D. Entryways:

The development's entryway serves to introduce and define the limits of the Thanksgiving Point community and is intended to impart a subtle, tasteful introduction to the community and



development.

All property entries must be approved by the DCC. Further, all entries must not interfere with or reduce the goals of Thanksgiving Point as to parking, ingress and egress, circulation, pedestrian traffic and the general safety of pedestrians and vehicles.

E. Snow:

Where parking availability will be affected by weather conditions and snow removal is of concern, the following design criteria shall apply:

- a. Adequate snow storage areas shall be provided adjacent to each surface lot in a usable, readily accessible location.
- b. Snow storage areas shall be on site and be the equivalent of 5 percent of the total hard surfaced area, including parking spaces, aisles, driveways, curbing, gutters and sidewalks. Reductions below this standard must be approved the Design Control Committee.
- c. Required landscaping shall be designed so as to accommodate snow removal and storage on-site.

F. Shipping and Receiving:

No shipping and receiving areas shall be allowed which are visible from adjacent streets. Such areas must be screened from view.

4.1.4 Trash Receptacles/Storage:

All trashcans, storage bins and receptacles must be fully enclosed and screened. Waste receptacle structures should be constructed of block or concrete and plaster. All garbage structures are to be located in a position that is the least visible, generally to the back or side of facilities. No structure will be allowed in front of a building. Refuse areas must be kept clean and all trash must be inside bins. Businesses not keeping their refuse area clean will be contacted by Thanksgiving Point management and ordered to clean up said area.

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Outside storage is prohibited. Outdoor storage shall be meant to include the overnight and weekend parking of all company owned and operated motor vehicles, with the exception of passenger vehicles.

4.1.5 Landscaping:

The selection of plant materials for ornamental planting and re-vegetation within the development is defined by many factors. The initial considerations shall be based upon the adaptability of plants to the physical and climate characteristics of the area. Selected species must withstand prolonged cold winters, snow accumulation, and also be drought tolerant. Elevation amplitude, soil and water requirements shall also be considered. Germination and establishment characteristics shall be evaluated to ensure that selected plants for re-vegetation are adapted to the establishment on the property. The functional utility of the selected plant materials also plays an important role as well as usefulness in terms of soil erosion control.

Plant species shall be selected for the following characteristics:

- Capacity for soil stabilization
- Rapid establishment and growth
- Root biomass production
- Ground cover characteristics
- Promotion of soil development

Aesthetic qualities:

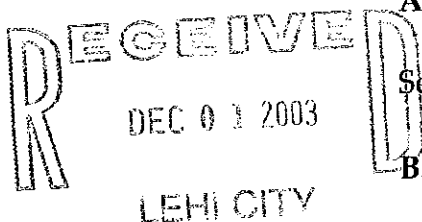
- Compatibility with native vegetation
- Compatibility with landscaping vegetation
- Color of foliage and flower growth form and size

All properties within the business park shall also conform to the following landscaping guidelines:

A. Landscape Ratio:

See individual land use sections herein.

B. Ground Cover:



All landscape areas shall be limited to sod, trees, shrubs, bushes, and architecturally viable plant beds. Forms of ground cover that are not permitted include gravel, rock, and zero-scape.

C. Planting Beds:

All shrub and planting beds shall be mulched with woodchips. All planting beds shall be separated from turf areas with a mowing strip/box constructed of concrete.

D. Trees:

There shall be a minimum of 3.5 trees for every 1000 square feet of building on each lot.

Evergreens or conifers will consist of 30 percent of all trees on any property.

New deciduous trees shall include 65 percent having a caliper of at least 2 inches in diameter, with the remaining 35 percent having a caliper of at least 3 inches in diameter.

New evergreens shall include 33 percent having a height of 5 to 6 feet, 33 percent having a height of 6 to 8 feet, and the remaining 33 percent having a height of 8 feet and above.

All trees must be double staked the first year.

E. Streetscape & Parking Areas:

Streetscape and parking area trees shall be required to provide shading, visual enhancement, and continuity for the streetscape. Trees shall be planted in an irregular, natural grouping. Placement shall include consideration for vehicle and pedestrian lines of sight, entrance and exit curb cuts, streetlights, and traffic control devices, and other site-specific conditions.

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A minimum of 80 percent of all parkways shall be sod. Refer to Section 10 for requirements along Clubhouse Drive.

Berms shall be used in all streetscape and parking areas. Berms in these areas shall be an average of 30 inches from the curb in height, with a maximum height at any point of 48 inches. The slope of any berm shall not be steeper than 3:1.

All entryways from a street to a parking lot shall include planter beds on each side that shall start at the curb and be a minimum size of 300 square feet.

F. Set Back Landscaping:

The front, side, and rear set back areas of each building lot shall be landscaped with an effective combination of turf, building integrated earth mounding (berms), trees, ground cover, and shrubbery. All unfinished areas not utilized for parking shall be landscaped with similar methods. Berms in these areas shall be an average of 30 inches in height from the curb, with a maximum height at any point of 48 inches. The slope of any berm shall not be steeper than 3:1.

G. Fencing:

Fencing shall not be permitted.

4.1.6 Signage:

In order to preserve the uniformity of Thanksgiving Point the following criteria for signage will remain in effect. Signs will be properly managed so they will not lose their effectiveness or create visual clutter. Signs should promote the look and feel of the development. Their design must be in harmony with the Thanksgiving Point general design and color schemes.

No sign shall be erected, altered or relocated at Thanksgiving Point without first obtaining approval from the Design Control Committee. Applications must include:

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- A site plan drawn to scale, which specifies the location of the sign
- Color rendering or scaled drawing including dimensions of all sign faces, materials to be used, color samples, manner of

construction and method of attachment.

- Drawings or photos, which show the scale of the sign in context with the scale of the building.
- Complete sign language plan for any commercial building which houses more than one use must be submitted prior to issuance of approval for any one sign on the building except where temporary signage may facilitate resident/guest directions.

A. Building Signs:

Surface mounted signs are not permitted.

B. Monument Signs:

Businesses will be able to display company logos in a multi-tenant monument sign designed for their building. Sign design will be consistent with Thanksgiving Point architectural designs and colors.

All exterior stand-alone signs will be monument, low profile signs. These signs will be uniform throughout the development and should serve as on-premise identification signs with no exposed poles, uprights or braces. Internally illuminated signs are not permitted.

Sign heights shall not exceed 5 feet in height and their surface area cannot consist of more than 50 square feet of surface area per side.

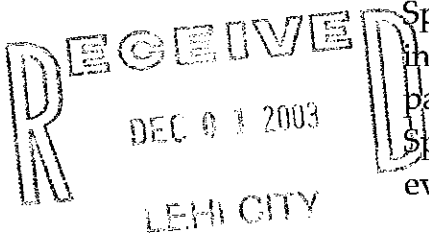
Refer to Section 10 for requirements on Clubhouse Drive.

C. Temporary Signs:

All temporary signs used to advertise a grand opening or special event must be professionally designed and fabricated.

Special event signs include banners, special ground signs, inflatable signs and window signs. A-Frame signs, outdoor paper signs, and hand painted wooden signs are prohibited.

Special event signs are only allowed for the duration of the event. Any special sign displayed for more than one month will



be reviewed and removed if the event has expired.

D. Non-Conforming Signs:

Any sign which does not conform to the sign code or the Thanksgiving Point Architectural Control Guidelines must be immediately removed, or the DCC will have the sign removed at the owner's/tenant's expense.

E. Incidental Signs:

Any incidental sign or sign used for secondary purposes such as "No Parking", "Entrance," "Load Only," address signs, and other similar directives, will be professionally designed, and uniform in color and design. Incidental signs will be provided for a cost to businesses by Thanksgiving Point and will not exceed 1 foot by 2 feet in size.

F. Abandoned Signs:

Any sign that's use has been discontinued for a period of thirty (30) days, must be immediately removed or the DCC will have it removed at the owner's/tenants expense.

G. Flags:

The maximum size of any one flag shall be 24 square feet. Flagpoles shall not exceed the height of the nearest building or 30 feet whichever is shortest. No more than 3 freestanding flagpoles shall be allowed on any single lot. Flagpoles shall be restricted to flying one flag at a time.

4.1.7 Utilities / Services:

All utility services shall be underground.

The developers of Thanksgiving Point offer as a suggestion to each property user that it is important for them to consider an efficient information system structure within their property and building in order to maintain pace with the rapidly changing face of technology. A property that is as complete and state-of-the-art as possible in this

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aspect of design can only benefit in its current and future usability and marketability.

4.1.8 Exterior Lighting:

The beauty of Thanksgiving Point will be enhanced by the judicious use of lighting. It shall be utilized as necessary to provide safety, security, and identification, while enhancing the community aesthetically. Lighting shall be directed downward to minimize negative impacts when possible. Light sources shall be shielded, directional, and discreetly illuminating. The placement and design of all lighting fixtures will be subject to approval by the Design Control Committee.

Parking lot lighting shall be strictly limited to the specified lights of the development. The light that has been chosen for Thanksgiving Point is as follows:

Double Fixture: Centered in Parking Island
Manufacturer: US Architectural
Fixture Catalog No.: VRS/11/400/2-180
Pole Catalog No.: MN MT SNTS 305-11-CBA
Color: Bronze

Single Fixture: Parking edge or roadside
Manufacturer: US Architectural
Fixture Catalog No.: VRS/11/400/1
Pole Catalog No.: MN MT SNTS 305-11-CBA
Color: Bronze

Street lighting shall be strictly limited to the specified lights of the development. The light that has been chosen for Thanksgiving Point is as follows:

Double Fixture: Centered in Parking Island
Manufacturer: Antique Street Lamps, Inc.
Fixture Catalog No.: BA25FB
Pole Catalog No.: NY12F4/17-CA
Color: Green

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Single Fixture: Street side
Manufacturer: Antique Street Lamps, Inc.
Fixture Catalog No.: BA25FB
Pole Catalog No.: NY12F4/17-CA
Color: Green

There are designated locations for streetlights at Thanksgiving Point. If these areas are on purchased properties, the purchaser will be responsible for the purchase and installation of the designated streetlight. The developer will install all electrical rough in for the lights.

4.1.9 Grading:

Every effort should be made to minimize grading and excavation, and to contain construction within fixed areas. To preserve existing land forms and site vegetation, grading for new developments must be sensitive to the natural massing and features of the area.

A grading plan that illustrates existing and proposed contours, cut fill areas and all existing plant material within the subject areas shall be included with the preliminary submittal to the Design Control Committee for review. Graded areas shall be minimized.

4.1.10 Drainage:

Storm drains, detention basins and other flood control facilities will be constructed as required in accordance with the approved flood control master plan. These facilities will be constructed in phases as required by the pace of development.

The minimum grade at a building and at an opening into basement shall be at an elevation that prevents adverse effect by water. Flood levels should be equivalent to a 50-year return frequency storm.

Provisions shall be made for the best available routing of runoff water to assure that buildings or other important facilities will not be endangered by flood runoff, which would become active if the capacity of the site storm drainage system is exceeded. Examples of methods of

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runoff water routing that are considered best available include piping, open channel and in cases where erosion is not a factor, overland flow. Streets shall be useable during runoff equivalent to a 10-year frequency.

Developed portions of a site which can be adversely affected by a potentially high ground water table shall be drained where possible by subsurface drainage facilities adequate for disposal of excess ground water. Subsurface drainage will be based upon geotechnical engineering recommendations. Storm water drainage shall be connected only to outfalls approved by the local jurisdiction.

A. Primary Storm Sewer:

All drainage design shall be by a registered professional engineer and approved by the City. The minimum gradient shall be selected to provide for self scouring of the conduit under low flow conditions and for removal of sediments foreseeable from the drainage area.

B. Secondary Drains:

Pipe drains of adequate size from minor runoff concentration points shall be provided and connected to appropriate disposal lines as design analysis indicate.

C. Drainage Swales & Gutters:

Paved gutters shall have a minimum grade of 0.5 percent. Paved gutters and unpaved drainage swales shall have adequate depth and width to accommodate the maximum foreseeable runoff without overflow.

D. Open Channels:

Channels shall be protected from erosion by appropriate vegetative cover, lining or other treatment indicated as necessary by analysis. Earthen channel side slopes shall be no steeper than 2 to 1 and shall be flatter to prevent erosion where analysis indicates the need.

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E. Storm Inlets and Catch Basins:

All storm inlets and catch basins shall be adequate in size and design to accept and carry the calculated potential run off without overflow. All storm inlets and catch basins shall be constructed of durable materials, which will not erode and will accept potentially imposed loads without failure. Durable materials include concrete, aluminum, and steel. Where inlet areas are accessible to small children, openings shall have one dimension limited to a maximum of 6 inches. Access for cleaning shall be provided to all inlet boxes and catch basins. Where inlets are located in areas of potential pedestrian use, the design of openings and exposed surfaces shall be arranged to minimize the danger of tripping or slipping.

F. Manholes and Junction Boxes:

Manholes and junction boxes shall be spaced at optimum intervals as indicated by analysis and shall be provided where there is a particular hazard of blockage, at abrupt changes in alignment, and at junctions with mains and principal laterals.

G. Headwalls:

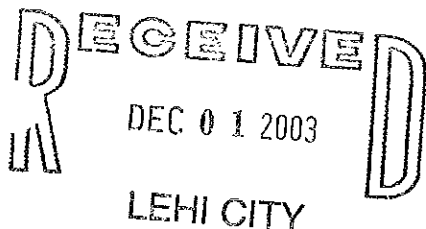
Headwalls and other appropriate construction shall be placed at the open ends of storm sewers to prevent excessive erosion and undermining of conduit.

H. Detention Facilities:

Detention facilities must be sized and located by a professional engineer and approved by the City.

I. Maintenance:

All drainage and detention is to be maintained and kept functional by individual lot owners/tenants.



4.1.11 Environmental Quality:

To help ensure the success of the environmental aspects of Thanksgiving Point, which entail a large and critical part of the development, the following guidelines are a detail of the controls that address construction phase pollution and subsequent ongoing pollution in the development.

A. Construction Dust:

Air quality may be improved during the construction phases of the development by using water to suppress dust, reducing exposed surface areas that are susceptible to wind, applying environmentally safe compounds that form a crust on the top fraction of soil, using densifiers such as gravel in high traffic areas, and the overall reduction management of vehicle and equipment traffic.

B. Construction Erosion:

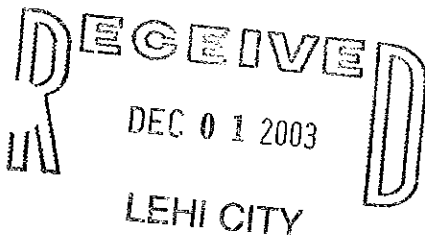
Erosion impacts may be managed by development of large tracts in small units so construction is completed rapidly, removing vegetation only from areas where necessary, and establishing permanent vegetation and erosion controls as quickly as possible.

C. General Air Quality:

Every new facility will affect the air quality of Thanksgiving Point. Measures that may be taken to control pollution as much as possible include the reduction of the burning of fossil fuels by encouraging the use of solar power, providing means for efficient pedestrian traffic, minimizing automobile congestion through the efficient design of streets and parking.

D. Noise Pollution:

Pollution caused by noise shall be considered in all designs and steps shall be taken to reduce or eliminate any undue affects it may cause. In no case shall any owner/tenant produce noise that shall adversely interfere or encroach on any adjacent property. Noise shall in no case raise on any property to a level that is greater than 75 dba.



4.2 BUILDING / STRUCTURE REQUIREMENTS

4.2.1 Building Exteriors:

Buildings shall have a continuous expression of design on all sides. Buildings with "finished" fronts and "unfinished" sides or backs are not permitted.

The exterior materials of all structures should be durable and of high quality. Highly reflective material, concrete, siding, corrugated material, and metal materials are not permitted.

The exterior materials of construction for a building or structure should be of Class A material and colors that are approved by the DCC. Rock, brick, and wood can be used to compliment exterior designs.

The architectural element of a column is required in the design of all buildings at the Thanksgiving Point business park.

All visually exposed vents, gutters, downspouts, flashings, conduits, etc. shall be painted to match the color of the adjacent surface, unless being used expressly as a trim or accent element.

4.2.2 Colors:

The required colors of the development are earth-tones including, but not limited to, greens, browns and tans. Colors that are not allowed include bright colors, pastels, non-natural, or loud colors of any kind. All coloration schemes must receive approval by the DCC. If franchise or trademark colors are loud or bright in nature, they may require tempering as approved by the DCC before new construction or change can occur.

4.2.3 Exterior Glass Windows:

Window coloration must blend with the colors of the development. Therefore, windows can include modest blues, clear, grays, or bronzes. Greens or any other bright colored glass is strictly forbidden in the development.

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Windows must be integrated into structural elements as complimentary and not distract from the theme. All glass areas open to the public must be kept free of clutter or distracting elements not pertaining to ordinary business procedures.

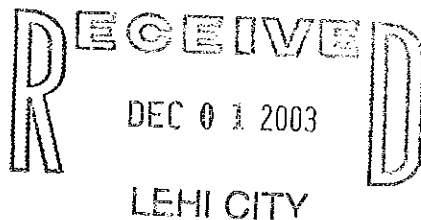
4.2.4 Building Height:

All establishments in the development shall not have a building constructed that exceeds 60 feet in height. Building height shall be measured from finished floor to the highest point on the building.

4.2.5 Roofing:

All buildings must use a concealed or standing seam roof system.

Any equipment or other roof-mounted obstructions shall be screened or hidden by a parapet wall, enclosure, or otherwise in a manner satisfactory to the DCC.



5. BUSINESS AND OFFICE PARK GUIDELINES: CLASS A

All of the buildings in Thanksgiving Point’s business and office park that are in areas designated Class A shall have a dignified presence that will allow businesses to express professionalism, modern amenities, and energy, while complimenting the recreational, educational, and entertainment services in the development.

All users in the business and office park areas shall adhere to the overall design style as well as the following:

5.1 Site Requirements:

5.1.1 Building Setbacks:

All buildings shall have a **Minimum Set Back** from the following:

Reference Point	Front	Side/Rear
Street	100'	40'
Lot Boundary	40'	40'
Parking Lot	30'	20'
Driveway or Lot Entryway	30'	20'

5.1.2 Parking Lot Setbacks:

All parking lots shall have a **Minimum Set Back** from the following:

Reference Point	Front	Side/Rear
Street	40'	40'
Lot Boundary	40'	20'

5.1.3 Parking Stalls:

There shall be a minimum of 4.5 parking stalls for every 1,000 square feet of gross leasable building space per lot.

5.1.4 Driveways and Access Ways:

The minimum width requirement for a commercial driveway shall be 30' with a maximum width of 40'. All widths and curb cuts must conform to Lehi City ordinances.

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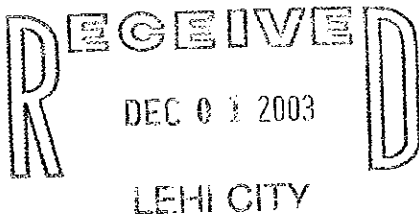
Spacing of driveways is defined as the distance between the closest edges of the driveway to the right-of-way line of the street. All access drives shall have adequate site distance. No access drives will be allowed on collector streets without the approval of the Design Control Committee. Access drives shall be spaced according to the following:

Street Type	Minimum Spacing	Min. Distance / Intersection
Local	75'	100'
Collector	200'	200'

Spacing between commercial driveways shall be a minimum of 80' or a minimum of 40' from any property line. Joint use of commercial drives is strongly recommended.

5.1.5 Landscape Ratio:

All properties will include an area to be landscaped that will comprise at least 35% of the total property area.



6. BUSINESS AND OFFICE PARK GUIDELINES: CLASS A - SMALL LOT

All of the buildings in Thanksgiving Point's business and office park that are in areas designated Class A with small lots of 1 to 2 acres shall have a dignified presence that will allow businesses to express professionalism, modern amenities, and energy, while complimenting the recreational, educational, and entertainment services in the development.

All users in the business and office park areas shall adhere to the overall design style as well as the following:

6.1 Site Requirements:

6.1.1 Building Setbacks:

All buildings shall have a **Minimum Set Back** from the following:

Reference Point	Front	Side/Rear
Street	40'	20'
Lot Boundary	40'	20'
Parking Lot	10'	10'
Driveway or Lot Entryway	30'	20'

6.1.2 Parking Lot Setbacks:

All parking lots shall have a **Minimum Set Back** from the following:

Reference Point	Front	Side/Rear
Street	20'	20'
Lot Boundary	20'	10'

6.1.3 Parking Stalls:

There shall be a minimum of 4.5 parking stalls for every 1,000 square feet of gross leasable building space per lot.

6.1.4 Driveways and Access Ways:

The minimum width requirement for a commercial driveway shall be 30' with a maximum width of 40'. All widths and curb cuts must conform to Lehi City ordinances.

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Spacing of driveways is defined as the distance between the closest edges of the driveway to the right-of-way line of the street. All access drives shall have adequate site distance. No access drives will be allowed on collector streets without the approval of the Design Control Committee. Access drives shall be spaced according to the following:

Street Type	Minimum Spacing	Min. Distance / Intersection
Local	75'	100'
Collector	200'	200'

Spacing between commercial driveways shall be a minimum of 80' or a minimum of 40' from any property line. Joint use of commercial drives is strongly recommended.

6.1.5 Landscape Ratio:

All properties will include an area to be landscaped that will comprise at least 35% of the total property area.

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7. BUSINESS AND OFFICE PARK GUIDELINES: CLASS B

All of the buildings in Thanksgiving Point's business and office park that are in areas designated Class B shall have a dignified presence that will allow businesses to express professionalism, modern amenities, and energy, while complimenting the recreational, educational, and entertainment services in the development.

All users in the business and office park areas shall adhere to the overall design style as well as the following:

7.1 Site Requirements:

7.1.1 Building Setbacks:

All buildings shall have a **Minimum Set Back** from the following:

Reference Point	Front	Side/Rear
Street	60'	40'
Lot Boundary	40'	40'
Parking Lot	20'	20'
Driveway or Lot Entryway	30'	20'

7.1.2 Parking Lot Setbacks:

All parking lots shall have a **Minimum Set Back** from the following:

Reference Point	Front	Side/Rear
Street	40'	40'
Lot Boundary	40'	20'

7.1.3 Parking Stalls:

There shall be a minimum of 4.5 parking stalls for every 1,000 square feet of gross leasable building space per lot.

7.1.4 Driveways and Access Ways:

The minimum width requirement for a commercial driveway shall be 30' with a maximum width of 40'. All widths and curb cuts must conform to Lehi City ordinances.

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Spacing of driveways is defined as the distance between the closest edges of the driveway to the right-of-way line of the street. All access drives shall have adequate site distance. No access drives will be allowed on collector streets without the approval of the Design Control Committee. Access drives shall be spaced according to the following:

Street Type	Minimum Spacing	Min. Distance / Intersection
Local	75'	100'
Collector	200'	200'

Spacing between commercial driveways shall be a minimum of 80' or a minimum of 40' from any property line. Joint use of commercial drives is strongly recommended.

7.1.5 Landscape Ratio:

All properties will include an area to be landscaped that will comprise at least 30% of the total property area.

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8. COMMERCIAL / RETAIL GUIDELINES

All commercial and retail users in their respective areas (Section 11: Area Maps) will adhere to the overall Thanksgiving Point design style and be visually synergistic with surrounding elements.

The following guidelines must also apply:

8.1 Site Requirements:

8.1.1 Building Setbacks:

All buildings shall have a **Minimum Set Back** from the following:

Reference Point	Front	Side/Rear
Street	40'	20'
Lot Boundary	30'	5'
Parking Lot	5'	5'
Driveway or Lot Entryway	5'	5'

8.1.2 Parking Lot Setbacks:

All parking lots shall have a **Minimum Set Back** from the following:

Reference Point	Front	Side/Rear
Street	20'	20'
Lot Boundary	5'	5'

8.1.3 Parking Stalls:

There shall be a minimum of 4.5 parking stalls for every 1,000 square feet of gross leasable building space per lot.

8.1.4 Driveways and Access Ways:

The minimum width requirement for a commercial driveway shall be 30' with a maximum width of 40'. All widths and curb cuts must conform to Lehi City ordinances.

Spacing of driveways is defined as the distance between the closest edges of the driveway to the right-of-way line of the street. All access

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drives shall have adequate site distance. No access drives will be allowed on collector streets without the approval of the Design Control Committee. Access drives shall be spaced according to the following:

Street Type	Minimum Spacing	Min. Distance / Intersection
Local	75'	100'
Collector	200'	200'

Spacing between commercial driveways shall be a minimum of 80' or a minimum of 40' from any property line. Joint use of commercial drives is strongly recommended.

8.1.5 Landscape Ratio:

All properties will include an area to be landscaped that will comprise at least 15% of the total property area.

8.2 Signage:

8.2.1 Prohibited Sign Devices:

The following devices used to attract pedestrian or vehicular attention are prohibited. Any sign not specifically allowed here is also prohibited.

- A. Hot or cold air balloons, or inflatables except as specifically allowed by this ordinance for temporary signs or as part of a grand opening period or special promotion.
- B. Any sign which flashes, blinks, uses chaser lights, etc., or moves in any way, animate or inanimate, except as specifically allowed by the DCC. (Commercial signs may be approved with time/temperature or electronic message center capability.)
- C. Statuary bearing the likeness or suggestion of any product or logo.
- D. Projecting sign

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- E. Roof sign
- F. Snipe sign
- G. Wind sign
- H. Temporary sign
- I. Any truck, trailer, or other vehicle conspicuously, or regularly parked on or off-premise with an advertising message or logo displayed to attract attention to a business, product, or promotion.
- J. Graffiti
- K. Spotlights directed into the night sky except as part of an approved promotional period for temporary signs.
- L. Off-Premise signs (including billboards)

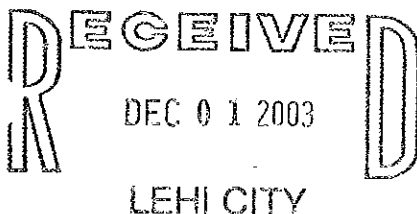
8.2.2 Hand-bills, signs-public places and objects:

Except as otherwise stipulated, no person shall paint, mark or write on, or post or otherwise affix, any hand-bill or sign to or upon any sidewalk, crosswalk, curb, curbstone, parkstrip, street lamp post, hydrant, tree, shrub, tree stake or guard, railroad trestle, electric light or power or telephone or telegraph or trolley wire pole, or wire appurtenance thereof upon any lighting system, public bridge, drinking fountain, life saving equipment, street sign or traffic sign.

8.2.3 Other Allowed Signs:

A. Window Signs:

Window signs which are painted on or temporarily affixed to the window surface shall cover no more than 25% of any single window, or 25% of the entire surface area of a group of windows and shall not be so affixed as to block clear view of exits or entrances or to create a safety hazard. This applies also



to inside illuminated signs (e.g., neon, etc.) which are within 8 inches of the window surface.

B. Menu Boards:

Menu boards for drive-in restaurants are to be reviewed and approved at site plan review. The following shall apply.

- a. Only 2 menu boards are allowed per site and must be located behind the front landscaped setback area.
- b. Maximum area shall not exceed 35 square feet per sign and 6 feet in height.

C. Gasoline Price Signs:

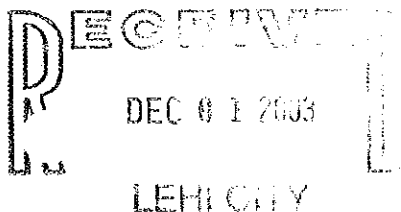
One double faced sign for each type of fuel sold is allowed per gas island with a maximum of 4 sets per station. The area of said sign may not exceed 4 square feet each.

8.2.4 Sign Theme Required:

All multi-tenant centers/buildings must submit a proposal for all on-premise signs to the DCC for design and placement approval. In cases for parcels of land of 7 acres or larger, and with frontage of 300 feet or more, a proposal for the overall design and placement of all on-premise signs may be submitted. Such signs may vary from the regulations set forth herein and shall be considered as a conditional use; providing there is a determination that the proposed sign exceptions are not in conflict with the purpose and intent of this Chapter and are in architectural harmony with uses adjacent to the development and with the understanding existing signage may be required to be altered or removed.

8.2.5 On-premise Freestanding Signs:

The size and height of freestanding signs are allowed as follows:

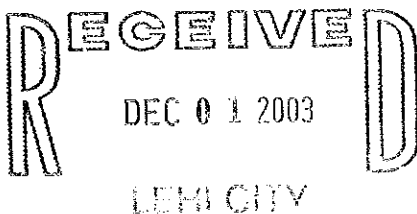


- A. Planned centers or parcels less than four (4) acres. No freestanding signs are allowed. Only monument signs are allowed.
- B. Four (4) acres or more. One freestanding sign per street frontage may be approved. No freestanding sign shall be allowed for any planned center or parcel that has less than 300 feet of street frontage. Sign height may not exceed 25 feet. Signs must be at least 200 feet from the corner.
- C. Reader boards, changeable copy areas and electronic message centers are allowed. No such device shall exceed 50% of the total sign copy area of the sign.
- D. On parcels adjacent to and fronting Interstate 15 or the I-15 frontage road, may have a height not greater than 25 feet above the nearest traveled way (traffic lane) of Interstate 15. Such sign must be located within the 30-foot setback from property line on such parcel. Businesses that are adjacent to a freeway overpass or similar view-obscuring structure may request review for additional height allowance. Only minimal addition in height to provide reasonable visibility above the view-obscuring structure will be approved.

8.2.6 Monument Signs:

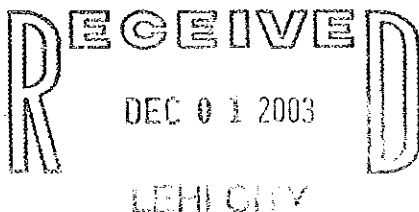
The following standards shall apply:

- A. Monument signs are allowed for any size parcel provided that the parcel has 20 feet of street frontage. The sign area allowed is determined by the following formula: $32 \text{ sq. ft.} + 1 \text{ sq. ft. per } 3.124 \text{ lineal feet of street frontage}$ over 50 feet, maximum size is 80 sq. ft. Parcels with two street frontages are allowed a sign on each street. However, the signs must be separated by at least 100 feet as measured diagonally across the property from center to center of both signs or only one (1) sign will be allowed. Signs within the visibility triangle may be allowed with permission.



B. Monument signs for Planned Commercial Centers

- a. Monument sign shall have logo/identification theme as part of the sign.
- b. Planned commercial centers with two (2) or more street frontages are allowed one (1) sign on each street frontage. The signs must be separated by at least 100 feet as measured diagonally across the property from center of sign. In no case shall the approved monument sign be placed closer than one hundred (100) feet to any other sign (monument or freestanding/pole) located on the same side of the street.
- c. The area of the sign is determined by the length of the frontage along which the sign is to be placed, including the frontage of any freestanding buildings included within the planned commercial center. The sign area is determined as provided in sub-paragraph above.
- d. In the case of the development of a planned commercial center on multiple parcels of property having common frontages, regardless of the number of separately owned parcels or buildings of separate occupancy within the planned commercial center, the frontage shall be considered to be the composite of the entire commonly-used parcels or buildings and not the frontage of each individual business or occupancy. The over-all frontage shall be used to calculate allowable sign area for the center identification sign as provided in sub-paragraph above.

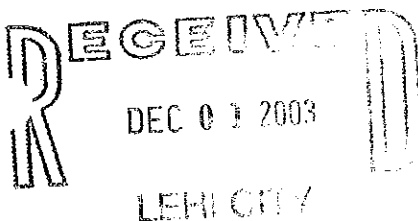


- e. In the event that a planned commercial center has several freestanding buildings (single or multi-occupant), each permitted monument sign shall be separated from each other by no less than one hundred (100) feet.

C. Freestanding Building within a Planned Commercial Center

- a. A freestanding building within an approved planned commercial center may request a monument sign provided that the freestanding building lot is contiguous to a major arterial street and has at least one hundred (100) feet of street frontage.
- b. Freestanding buildings with two (2) or more street frontages are allowed one (1) sign on each frontage. The signs shall be separated by at least 100 feet as measured diagonally across the property from center of sign. In no case shall the approved monument sign be placed closer than one hundred (100) feet to any other sign (monument or freestanding/pole) located on the same side of the street.
- c. The business or tenant occupying the freestanding building shall be allowed a monument sign upon determination that the sign is not in conflict with the purpose of this chapter and is in architectural harmony with uses adjacent to the development.
- d. The sign area is determined as provided in sub-paragraph above.

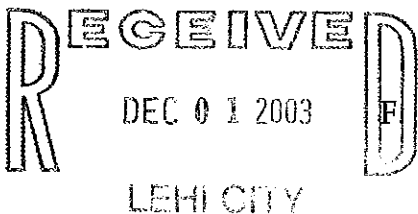
D. Freestanding Building not associated with a Planned Commercial Center



- a. A freestanding building not associated with a Planned Commercial Center is allowed one monument sign provided that the parcel has at least one hundred (100) feet of street frontage.
- b. In the case of the freestanding building having two (2) or more frontages, they may place one (1) sign on each street frontage provided that the signs are separated by at least one hundred (100) feet as measured diagonally from center of sign. In no case shall the permitted monument sign be placed closer than one hundred (100) feet to any other sign (monument or freestanding/pole) located on the same side of street.
- c. The sign area is determined as provided in sub-paragraph above.

E. Monument signs must have at least a 1 foot pedestal, and the illuminated cabinet may not exceed 5 feet for a total of 6 feet. The height to the top of the sign as measured from the street curb may vary depending upon landscaping, but the combined height of the sign and berming/landscaping may not exceed 9 feet. The entire frontage of the property must be randomly bermed for this to occur, not just where the sign is to be positioned. The sign base shall be landscaped.

Reader boards (changeable copy area) and electronic message centers may be allowed, however, such devices shall not exceed 50% of the total sign area.



8.2.7 Wall Signs:

Wall signs should be the primary form of identification for business uses. Each business is entitled to one wall sign if the following criteria are met:

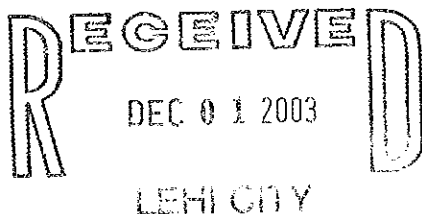
- A. The sign may not occupy more than 15% or 600 square feet, whichever is less, of the flat wall area. If a sloping façade or roof exists, the sign may not exceed 15% or 600 square feet, whichever is less, of that area. A wall sign may not use a combination of both flat and sloping areas in calculating the 15%. On a sloping roof the vertical projection is used to calculate area not actual length of the slope.
- B. The 15% area of the primary wall and the 5% area of all secondary walls may be divided into more than one sign under the following requirements and restrictions:

Requirements

- a. The sign package blends with the aesthetics of the building and surrounding natural and manmade environment.
- b. The sign package color, style, size, scale, and proportion enhances the exterior of the building and does not place too much bulk and external distractions on the exterior of the building.
- c. The number of signs are appropriate to the scale of the building.

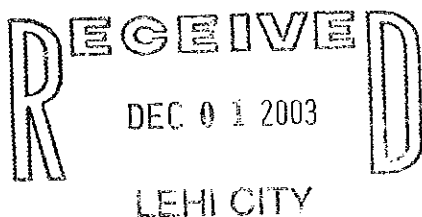
Restrictions

- d. The maximum number of wall signs on any given wall, including multi-tenant buildings, shall be seven (7). For the purpose of this ordinance, a sign will be considered a complete phrase and the suggested layout of the sign package (i.e., the individual words may either be lumped together as one phrase to equal 1 sign, or spread out to be many different signs, such



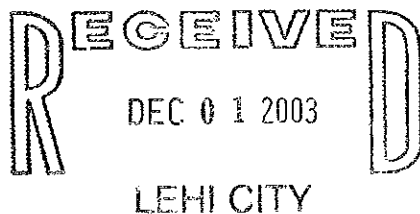
as "1 Hour Photo" would be considered one sign.)

- e. The maximum number of multiple wall signs on any given wall shall be limited to seven (7). The maximum square footage shall be limited to 600 square feet or 15% of the wall (5% if a secondary wall), whichever is less.
- f. Multi-tenant buildings may receive a conditional use permit so that the building may exceed the maximum number of signs to accommodate the additional signs if the additional signs are consistent with the criteria set forth above.
- g. Multiple wall signs shall utilize individual lettering and logos only. No multiple cabinet signs or combination of cabinet and individual lettering signs shall be approved. It is encouraged that the use of multiple materials and lettering styles, such as exposed neon, different type styles, use of logos in conjunction with the lettering be implemented.
- h. Painted signs applied directly to any building face, must have specific approval.
- i. Wall signs with changeable copy, reader board, or electronic message capability are not allowed.
- j. Buildings or businesses with exposure on the side(s) and front may choose which wall to mount their sign upon. Signs are allowed on the rear of the building with approval.
- k. Owners of buildings that have small offices inside, accessory and/or secondary to the



main use, are required to create a building identification sign instead of trying to obtain signage for every tenant. This is especially true for buildings with two or more levels.

- l. Wall signs on sloping roofs shall be erected so as to appear as a sign applied to a similarly vertical wall surface and finished in such a manner that the visual appearance from all sides is such that they appear to be part of the building itself. All such signs shall be installed or erected in such a manner that there is visual support structure such as guy wires or braces.
- m. No part of any wall sign or of the sign structure shall project above or below the highest or lowest part of the wall upon which the sign is mounted or painted.
- n. No wall sign including any light box or structural part, shall project above or below the highest or lowest part of the wall. Upon review and approval, a business may request the placement of a business identification sign upon a wall not otherwise located above the deemed business. When reviewing such request, the following criteria will be considered:
 1. The proposed sign is in close proximity to the identified business.
 2. The proposed sign square footage is counted against the allowable square footage for the wall upon which it is mounted (i.e. if a business who occupies the space permits another business to share the wall for signage, the additional sign will be



included when calculating the permitted amount of square footage for the primary business).

3. That the proposed sign comply with established sign theme requirements for the shopping center upon which the sign is located.

8.2.8 Suspended Signs:

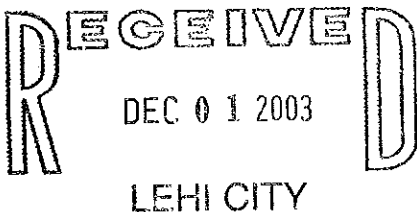
Suspended signs used in place of wall signs are allowed if the architecture of the building or planned center lends itself to that design and a sign theme is submitted and approved. The following shall apply:

- A. Any proposal for a suspended sign must be reviewed for compatibility with the building.
- B. Any sign may not exceed 15% of the flat wall of the tenant space.
- C. No sign may project beyond the outside limit of the arcade, marquee, or canopy or façade to which they are attached.
- D. Any sign must have at least an 8 foot clearance above the sidewalk or 7 feet above any landscaped area.
- E. There must be a minimum horizontal distance of 5 feet on both sides between suspended signs.

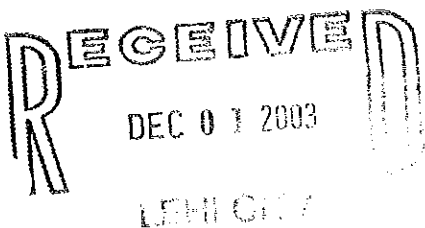
8.2.9 Awning Signs:

Awning signs are allowed only under the following circumstances:

- A. The DCC may approve any applicant for an awning sign which fully complies with sign standards.



- B. Awning signs in planned centers must be designed to conform to an approved sign theme.
- C. No awning signs will be allowed on multi-tenant buildings or in planned centers unless the building or center has consistent treatment.
- D. Awning signs shall be limited to single story buildings or to the first level only of multi-story buildings.
- E. Awning signs must function as true awnings by being placed over a doorway, window, or walkway to protect such from the elements.
- F. Awning signs are not allowed on or above sloping or mansard roof.
- G. The area of awning signs shall be a maximum of 15% of the primary wall upon which the sign is mounted. Awning signs for secondary walls are limited to 5% of the wall area.
- H. Area of copy/logo on awnings shall be limited to 40% of the awning. Illuminated signs on other sides shall be permitted.
- I. Awning signs shall conform to all provisions of the Uniform Building Code governing such structures.
- J. Illuminated (backlit), translucent, vinyl awnings are not permitted. Translucent letters or accents sewn into opaque canvas or acrylic awnings are permitted.
- K. Awning signs shall not project out from the wall more than 8 feet, nor less than 2 feet. In the case of entrance canopies the awning may project out from the building over a walkway and must lead to a bona fide business entrance. Such canopies will be permitted if they are compatible with the architecture of the building.
- L. Awning signs shall not project above the roof line, defined as the highest part of the vertical wall.

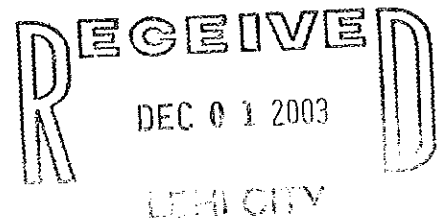


- M. Awning signs shall maintain a minimum clearance of 7 feet to the bottom of the valance and 8 feet to the frame above the sidewalk and comply with all other clearance requirements.
- N. Awning signs shall be maintained in a clean, safe, and attractive condition. Failure to do so will result in revocation of the sign permit.

8.2.10 Canopies:

Signs for canopies over gas islands are regulated as follows:

- A. Sign copy, corporate logos, etc. may be a maximum of 15% of one face of the canopy.
- B. Up to 3 sides of the canopy may be used for signs.
- C. The height to the top of the canopy may not exceed 20 feet from grade and no canopy fascia may exceed 4 feet in height.
- D. Individual letters, logos, or symbols may not exceed 4 feet in height or project out from the surface of the canopy more than 18 inches or project above or below the canopy face.
- E. Gas price signs are allowed on the monument sign or below the canopy over the pumps. One double faced sign for each type of fuel sold is allowed per gas island with a maximum of 4 sets per station. Are of said sign may not exceed 4 square feet each.



9. HOTELS AND LODGING FACILITY GUIDELINES

All of the hotel and lodging buildings at Thanksgiving Point will have a dignified presence that will allow businesses to express professionalism, modern amenities, and energy, while complimenting the recreational, educational, and entertainment services in the development.

All hotels and lodging facilities shall adhere to the overall design style as well as the following:

9.1 Site Requirements:

9.1.1 Building Setbacks:

All buildings shall have a **Minimum Set Back** from the following:

Reference Point	Front	Side/Rear
Street	100'	40'
Lot Boundary	40'	20'
Parking Lot	30'	30'
Driveway or Lot Entryway	30'	30'

9.1.2 Parking Lot Setbacks:

All parking lots shall have a **Minimum Set Back** from the following:

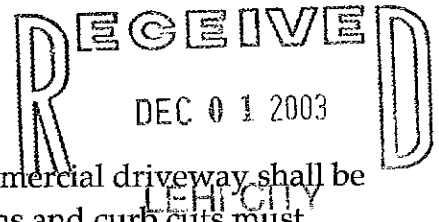
Reference Point	Front	Side/Rear
Street	40'	40'
Lot Boundary	40'	20'

9.1.3 Parking Stalls:

There shall be a minimum of 4.5 parking stalls for every 1,000 square feet of gross meeting or ballroom space plus 1 parking stall per lodging unit.

9.1.4 Driveways and Access Ways:

The minimum width requirement for a commercial driveway shall be 30' with a maximum width of 40'. All widths and curb cuts must conform to Lehi City ordinances.



Spacing of driveways is defined as the distance between the closest edges of the driveway to the right-of-way line of the street. All access drives shall have adequate site distance. No access drives will be allowed on collector streets without the approval of the Design Control Committee. Access drives shall be spaced according to the following:

Street Type	Minimum Spacing	Min. Distance / Intersection
Local	75'	100'
Collector	200'	200'

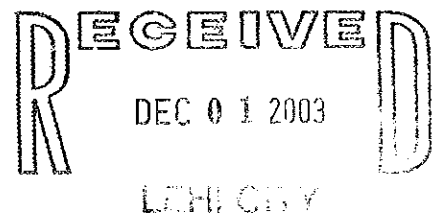
Spacing between commercial driveways shall be a minimum of 80' or a minimum of 40' from any property line. Joint use of commercial drives is strongly recommended.

9.1.5 Landscape Ratio:

All properties will include an area to be landscaped that will comprise at least 35% of the total property area.

9.1.6 Swimming Pools:

All swimming pools shall be indoor pools integrated into the layout and design of the lodging facility.



10. CLUBHOUSE DRIVE PROVISIONS

The property that fronts Clubhouse Drive shall satisfy the requirements listed below as well as those of previous sections as applicable. In the event that these requirements conflict with those of other sections, the guidelines of this section shall supercede and be satisfied.

10.1 Building Setbacks:

All buildings, structures, and parking lots shall have a minimum set back along Clubhouse Drive from the back of curb that shall be a minimum of 30 feet.

10.2 Sidewalks:

All sidewalks along Clubhouse Drive shall be 4 feet wide and parallel the curb with a park strip that is 7 feet wide.

10.3 Landscaping:

All parkways along Clubhouse Drive shall be 100 percent sod with trees installed and maintained per the general guidelines.

A random design of berms shall be used in the setback areas along Clubhouse Drive. The berms shall be an average of 30 inches from the curb in height, with a maximum height at any point of 48 inches. The slope of any berm shall not be steeper than 3:1.

10.4 Signage:

All freestanding and monument signs are prohibited along Clubhouse Drive for individual buildings or tenants. A monument sign may be used to give direction or introduction to a subdivision, campus, or planned center, ie.: North Business Park.

